



Annual General Meeting

9th November 2015



Welcome

Agenda

1. Welcome, Introductions, and apologies
2. Approval of the minutes of the Annual General Meeting held on 17th September 2014
3. Chairman's report
4. Finance Director's report and approval of the accounts for the year ending 31 March 2015
5. Appointment of auditors
6. Special Resolution – New Articles of Association
7. Questions submitted prior to the meeting
8. AOB – including questions from the floor

1. Introductions & Apologies

Resident Directors

Jono Brough (Chair)
Duncan Ashwell (Vice Chair)
Matt Upex (Finance Director)
James Cook
Martin Hughes
Jane Whitehead

Independent Auditor

Robert Anderson (Streets)

Legal

Daniel Belsham (Buckles)

Non Resident Directors

Dan Browne (Kier)
Adam Cook (Landowner)
Paul Fellows (Bourne Town Council)
Jane Kingman (SKDC)
John Kirkman (Elsea Park School)

Staff

Barry Cook (Manager)
Rebecca Jones (Finance &
(Administration)
Peter Ellis (Groundsman)
Emma Ralph (Centre Admin)
Lynda Souch (Centre Admin)
Niki Szwed (Youth Worker)

Item 2

Approval of the Minutes of the
AGM held on 17th September 2014



Item 3
Chairman's Report
Jono Brough



Governance

- Two additional Resident Directors have joined The Board increasing the breadth of skills and experience
- Cllr Judy Smith stood down after serving as SKDCs appointee for several years
- Two Resident Members (Dave Forrest & Bryan Summers) have continued to support The Trust in their role as the Drainage Project Team
- We buy in expertise, when required, for anything which falls outside the capabilities of the Directors or staff

Accountability

What have we achieved?

- Continued improvements in the collection of the Annual Charge and the aged debt reduced to the lowest level yet. We are currently pursuing debt from just six properties
- Use of the website has increased, and we interact more with members and residents via facebook when possible

Accountability

We still need to...

- Further explore Charitable status for some of the activities we undertake
- Try to get more members and residents engaged with the activities and aims for which the Trust was established
- Break away from the control of the developers (if the Special Resolution is carried this evening)

The Centre

What have we achieved?

- Improved income generated from The Centre through increased (and longer) hires
- Fenced off the area to the south of The Centre, improving security and reducing anti social behaviour
- Curtains have been hung throughout the building to improve the look and feel and make the building more appealing to users

The Centre

- “Picnic in the Park” was well attended and offered something for everyone
- Our Youth Club continues to be popular and the Junior Section launch was a great success
- Childrens’ activities are run during all school holidays
- The Events Group continue to organise and manage events for everyone on Elsea Park
- Small “start up” grants are still available

The Centre

This slide is unchanged from last year.....

- We can facilitate clubs and activities that members and residents might want to run and take part in, but this has to be driven by members and residents
- We would love to see more people get involved
 - The Youth Club desperately needs more volunteers
- Do you have any ideas? Can YOU help?

The Environment

- The Trust is responsible for maintenance and repairs of all drainage structures on land that it owns
- We continue to monitor, manage, and improve the mechanisms we have in place to reduce the risk of flooding on Elsea Park and The Meadows

The Environment

- Routine maintenance of our surface water drainage structures includes strimming, flail mowing, dredging, and de-silting
- Habitat Pond No 3 (closest to the A15) was dredged in September along with a number of ditches on the meadows

The Environment



The Environment



The Environment



The Environment



The Environment

Maintenance

- The wooden field gates at the vehicular entrance to The Meadows were beyond economical repair
- They have been replaced with steel gates to improve security and prevent further fly tipping



The Environment

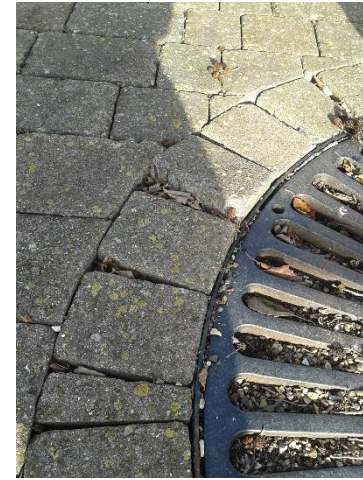
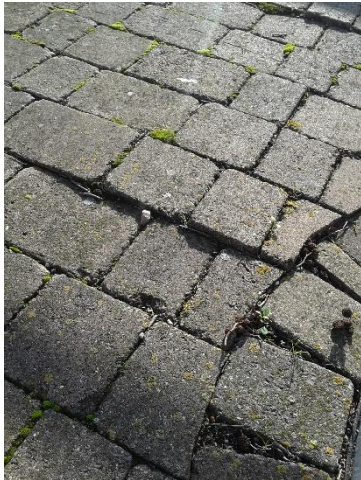
Maintenance

- We repair and replace existing post and rail and knee high rail fencing as required
- We “make do and mend” on some knee high rails where we plan to replace them with hedges under the landscaping improvement programme

The Environment

Maintenance

- Roots from the alder trees on Quaysides East and West were lifting the block paving. They were lifted and re laid after the roots were cut back



The Environment

Improvements

- We've undertaken our first Arboricultural Survey, carrying out essential maintenance on a number of older trees
- 180m of close board fence that screened off Setts Green has been removed to provide views of the conservation area from Coltsfoot Drive

The Environment

Changing this



The Environment

To this



The Environment

Improvements

- The schoolchildren helped plant one hundred saplings (donated by The Woodland Trust) on the Setts Green Conservation Area
- Additional (more mature) trees have been planted on Linear Park

The Environment

Improvements

- Two long hedge lines have been planted along Pimpernel Walk and Sandown Drive
- The hedge on Sandown Drive is being extended up to The Centre
- A high-density hedge will surround the pond on Cooke's Field
- Some 3500 bulbs have recently been planted on Linear Park and the Eastern edge

The Environment

- We've had a lot of good feedback regarding the improvements to the amenity land – Peter Ellis and our contractor (Ground Control) continue to do a great job!
- Planting and landscaping improvements are on going

What's on The Horizon?

Public Open Space on the David Wilson Homes Site

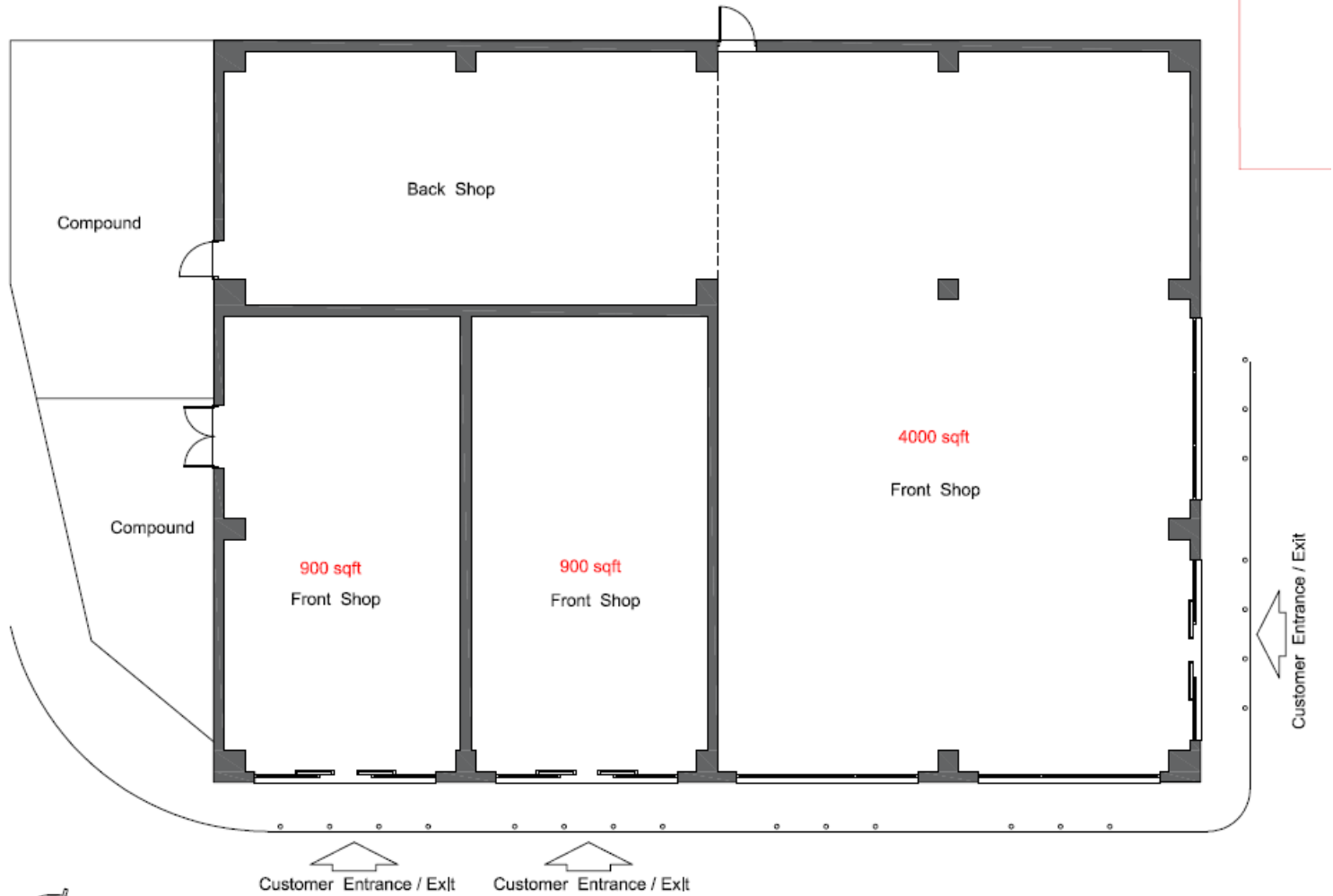
Shops

Sports Facilities

New POS

- We're meeting with David Wilson Homes later this month to agree on the remedials prior to taking over the POS and the new play area on the DW site
- We believe that there is a lot of work for them to do!

Shops at Oak Springs



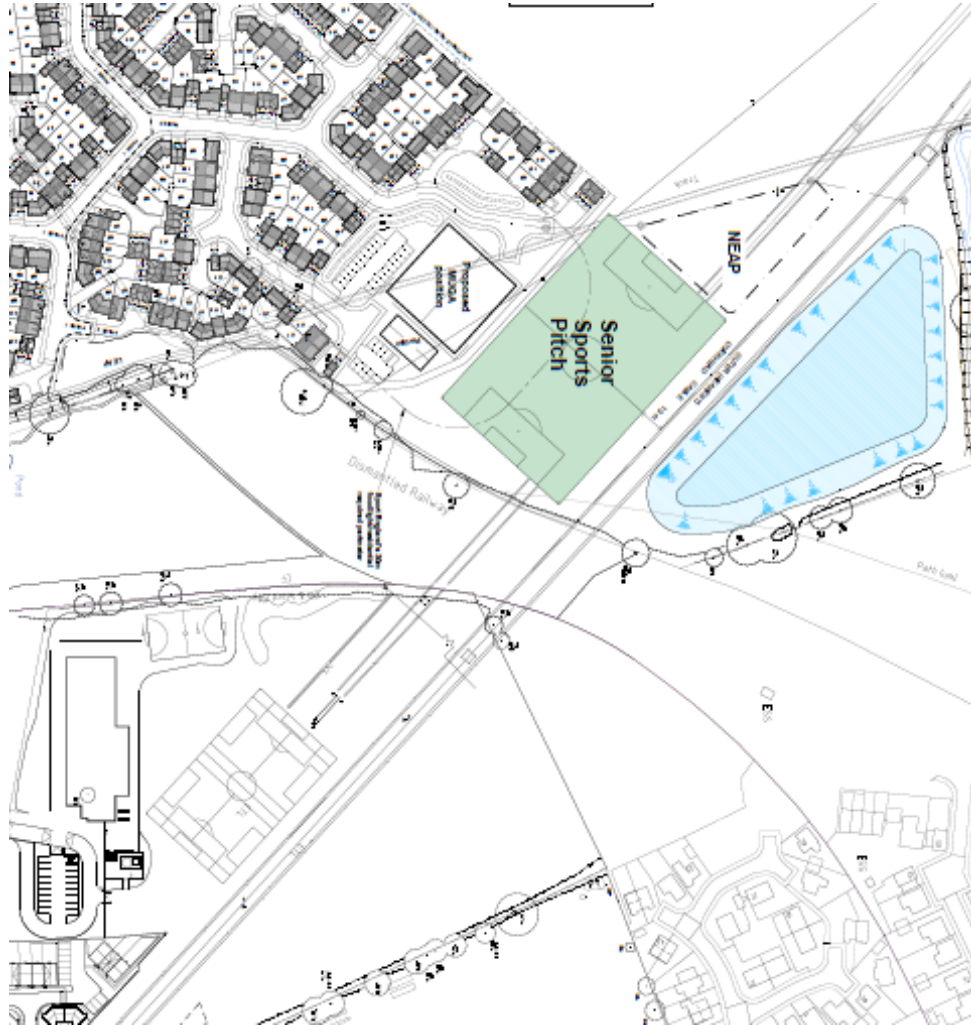
Sports Facilities

- The sports pitches (to include parking and changing rooms) are now likely to be located to the north west of The Spinney adjoining Kier's latest building phase
- We are in the early stages of agreeing what we think the best options might be, liaising with various SMEs

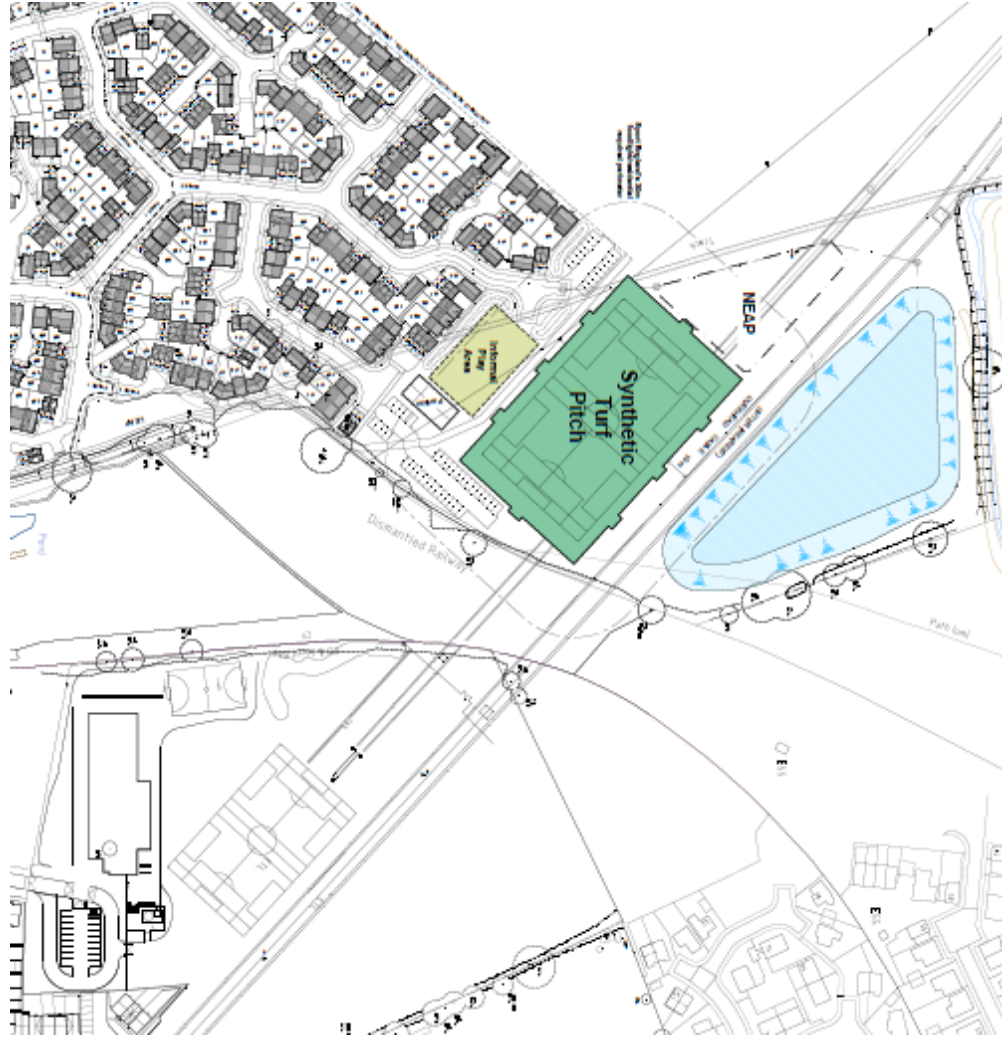
Sports Facilities

- Initial proposals are for either
 - A full sized grass pitch with a smaller Multi User Games Area (MUGA)
 - A 3G synthetic pitch and a smaller “recreational” pitch for informal games

Option 1 – Grass and MUGA



Option 2 – 3G



Similar facilities in use at Corby Glen (Option 2)



Sports Facilities

- We will be asking residents for their views
- It's likely the planners will have the final say!



Item 4

Finance Report and Approval of the Accounts for the year ending 31 March 2015

Matt Upex



Profit & Loss Sheet

ELSEA PARK COMMUNITY TRUST COMPANY LIMITED BY GUARANTEE

PROFIT AND LOSS ACCOUNT YEAR ENDED 31 MARCH 2015

	Note	2015 £	2014 £
TURNOVER		255,588	215,083
Other operating income	2	<u>6,782</u>	<u>3,344</u>
		262,370	218,427
Staff costs		107,897	104,593
Depreciation written off fixed assets	3	36,661	37,357
Other operating charges		103,338	126,769
OPERATING PROFIT/(LOSS)	3	14,474	(50,292)
Interest receivable		20	23
Interest payable and similar charges		(6)	-
		<hr/>	<hr/>
PROFIT/(LOSS) ON ORDINARY ACTIVITIES BEFORE TAXATION		14,488	(50,269)
Tax on profit/(loss) on ordinary activities		-	-
		<hr/>	<hr/>
PROFIT/(LOSS) FOR THE FINANCIAL YEAR		14,488	(50,269)

Balance Sheet

ELSEA PARK COMMUNITY TRUST COMPANY LIMITED BY GUARANTEE

BALANCE SHEET

31 MARCH 2015

	Note	2015 £	2014 £
FIXED ASSETS			
Tangible assets	4	<u>1,078,881</u>	<u>1,094,448</u>
CURRENT ASSETS			
Debtors	5	29,619	27,188
Cash at bank and in hand		<u>220,598</u>	<u>192,068</u>
		250,217	219,256
CREDITORS: Amounts falling due within one year	6	<u>79,023</u>	<u>78,117</u>
NET CURRENT ASSETS		171,194	141,139
TOTAL ASSETS LESS CURRENT LIABILITIES		<u>1,250,075</u>	<u>1,235,587</u>
RESERVES	8		
Other reserves	9	1,000,300	1,019,200
Profit and loss account	9	<u>249,775</u>	<u>216,387</u>
MEMBERS' FUNDS		<u>1,250,075</u>	<u>1,235,587</u>



Item 5

Appointment of Auditors





Item 6

*Special Resolution – Adoption of new
Articles of Association*



Articles of Association

- Current position
 - Kier still have overall authority on the Board
 - Kier underwrite the activities of the trust
 - The company is still governed by the original Articles of Association
- Where do we want to be?
 - Independent of Kier
 - Run by the residents
 - Have Resident Directors that have YOUR support
 - New Articles of Association fit for purpose and published

Where are we now?

- New Articles of Association are ready for the vote
- We have proved to SKDC we are a “Going Concern”
- SKDC have accepted that Kier can be released from underwriting the Trust but insisted on either:
 - A variation of the Section 106 Agreement
 - The Trust placing a bond with SKDC to pay for grounds maintenance on Elsea Park until September 2016 in case The Trust should fail

Where are we now?

- If the vote is carried, the Articles will come into operation once the bond is in operation and the Articles registered at Companies House



Item 7

Questions Submitted Prior to the AGM





Question 1

When will Superfast Broadband be available on Elsea Park and can The Trust do anything to help progress it?





Question 2

Is the Covenant regarding Caravans and work vans being parked on drives still in force?

If not, when was it changed and if it is why is it not being enforced?

A caravan has been parked in Aykroft for some time, and work vans in Pond Lane





Question 3

Is McDonalds collecting their rubbish off Elsea Park? The litter has been getting worse even though there are more bins and could an arrangement be made with McDonalds especially at weekends





Item 8

**Any Other Business
(beginning with questions from the floor)**





Close

Thank you for attending

